

RESOLUTION NO. R18-81

A RESOLUTION OF THE CITY COUNCIL APPROVING PROPERTIES TO BE INCLUDED IN THE SIDEWALK REPLACEMENT PROGRAM.

WHEREAS, the City of Laurel administers its Sidewalk Replacement Program under the authority of LMC § 12.04.020; and

WHEREAS, LMC § 12.04.020(B) provides the Council must approve the properties involved in the Sidewalk Replacement Program by the first Monday in October; and

WHEREAS, City Staff has identified the following addresses for inclusion in the Sidewalk Replacement Program for work described in the attached Memorandum dated October 2, 2018 which is incorporated herein by reference:

420 West 8 th Street	
119 6 th Avenue	
320 6 th Avenue	

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Laurel, Montana, that it approves the above referenced properties for inclusion in the City's Sidewalk Replacement Program; and


BE IT FURTHER RESOLVED that this Resolution is approved retroactive to September 1, 2018.

Introduced at a regular meeting of the City Council on November 20, 2018, by Council Member Eaton.

PASSED and APPROVED by the City Council of the City of Laurel this 20th day of November, 2018.


APPROVED by the Mayor this 20th day of November, 2018.

CITY OF LAUREL


Thomas C. Nelson, Mayor

ATTEST:

Bethany Langve, Clerk-Treasurer

APPROVED AS TO FORM:

Sam Painter Civil City Attorney

CITY HALL
115 W. 1ST ST.
PUB. WORKS: 628-4796
WATER OFC.: 628-7431
COURT: 628-1964
FAX 628-2241

City Of Laurel

P.O. Box 10
Laurel, Montana 59044



Code Enforcement

October 2, 2018

Memorandum

To: Matt Lurker, CAO
From: Karen Courtney, Code Enforcement Officer
CC: Kurt Markegard, Public Works Director

In September of 2018 the City of Laurel solicited bids for three sidewalk projects in the City of Laurel in accordance with Ordinance No O12-07, the City's Sidewalk Replacement Program. Two firms bid on the project, J.L.D Concrete and R&H Concrete. With J.L.D Concrete being the lower of the two bids.

The three properties that applied and were inspected for the project included the following:

420 West 8th Street: 1092 sq. ft. of sidewalk (182'x6'x4"), 12'x8'x6" total approach, an ADA corner and the curb and gutter replacement.

- JDL Concrete - \$9500
- R&H Concrete - \$18,410

119 6th Avenue: 385 sq. ft. of sidewalk (77'x5'x4"), 24'x10'x6" total approach, no ADA corner required.

- JDL Concrete - \$5,960
- R&H Concrete - \$7,580

320 6th Avenue: 30'x5'x6" total approach, ADA corner

- JDL Concrete - \$3,900
- R&H Concrete - \$3,097

Total for all 3 properties: JDL Concrete \$19,360 for the total project & R&H Concrete \$29,087 for the total project.

There is currently \$62,000 in the budget for the Sidewalk Replacement Program per Bethany Langve.

LARRY HAUGE
OWNER

R & H CONCRETE



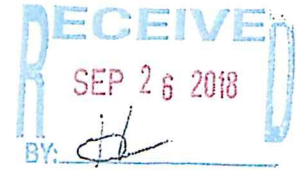
Excavation Septic Systems Gravel Concrete Forming
P.O. BOX 455 COLUMBUS, MONTANA 59019

TEL. (406) 322-5531
CELL (406) 861-4719

City of Laurel

Sidewalk Improvement Program

Bid Sheet - 2018



Defective Sidewalk	Sq. Ft.	Approach Width	Approach Length	Driveway Sq. Ft.	ADA Corner required	Curb & Gutter	Estimated total cost for each address
420 West 8 th Street	1092	12	8	N/A	Yes	W. 8 th Street side of property	1840.00
116 6 th Avenue	385	24	5	N/A	N/A	N/A	2580.00
320 6 th Avenue		30			Yes		3097.00
Total for project	1549	36	13	-----	-----		

Notes:

420 W. 8th St. – 182'x6'x4" (sidewalk), 12'x6'x6" (sidewalk approach), 12'x8'x6" (total approach), curb and gutter would be need to be done in order to pour sidewalk on W. 8th Street side only. ADA corner required.

116 6th Ave. – 77'x5'x4" (sidewalk), 24'x5'x6" (sidewalk approach), 24'x10'x6" (total approach), tree root would need to be removed.

320 6th Ave. – 30'x5'x6" (Sidewalk approach), ADA corner required. All will be removed but just the sidewalk portions for the ramps will be re-poured as homeowner wished to have small patch to landscape.

The required ADA corners on those properties noted shall include the raised truncated domes/pads and be included in the total bid costs column.

All bids due by September 26, 2018

City of Laurel

Residential Sidewalk Improvement Program

R & H Concrete Bid Sheet - 2018

Address of Defective Sidewalk	Sidewalk Sq. Ft.	Driveway Approach Width	Driveway Approach Length	Driveway Sq. Ft.	ADA Corner required	Curb & Gutter	Estimated total cost for each address
420 West 8 th Street	1092	12	8	N/A	Yes	W. 8 th Street side of property	\$18,410
119 6 th Avenue	385	24	5	N/A	N/A	N/A	\$7,580
320 6 th Avenue		30			Yes		\$3,097
Total for project	1549	36	13	-----	-----		\$ 29,087

Notes:

420 W. 8th St. – 182'X6'X4" (sidewalk), 12'x6'x6" (sidewalk approach), 12'x8'x6" (total approach), curb and gutter would be need to be done in order to pour sidewalk on W. 8th Street side only. ADA corner required.

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320 6th Ave. – 30'x5'x6" (Sidewalk approach), ADA corner required. All will be removed but just the sidewalk portions for the ramps will be re-poured as homeowner wished to have small patch to landscape.

The required ADA corners on those properties noted shall include the raised truncated domes/pads and be included in the total bid costs column.

All bids due by September 26, 2018

City of Laurel

Residential Sidewalk Improvement Program

J.L.D. Concrete Bid Sheet - 2018

Address of Defective Sidewalk	Sidewalk Sq. Ft.	Driveway Approach Width	Driveway Approach Length	Driveway Sq. Ft.	ADA Corner required	Curb & Gutter	Estimated total cost for each address
420 West 8 th Street	1092	12	8	N/A	Yes 1,800	W. 8 th Street side of property	\$9,500 \$7,700 RPO
119 6 th Avenue	385	24	5	N/A	N/A	N/A	\$5,960 RPO
320 6 th Avenue		30			Yes 1,800		\$3,900 2,100 RPO
Total for project	1549	36	13	-----	-----		\$19,360

Notes:

420 W. 8th St. – 182'x6'x4" (sidewalk), 12'x6'x6" (sidewalk approach), 12'x8'x6" (total approach), curb and gutter would be need to be done in order to pour sidewalk on W. 8th Street side only. ADA corner required.

119 6th Ave. – 77'x5'x4" (sidewalk), 24'x5'x6" (sidewalk approach), 24'x10'x6" (total approach), tree root would need to be removed.

320 6th Ave. – 30'x5'x6" (Sidewalk approach), ADA corner required. All will be removed but just the sidewalk portions for the ramps will be re-poured as homeowner wished to have small patch to landscape.

The required ADA corners on those properties noted shall include the raised truncated domes/pads and be included in the total bid costs column.

All bids due by September 26, 2018

RECEIVED
SEP 13 2018
KC

824751

Statement

DATE 9-11-18

TERMS

TO City of Laurel
Bid for 420 W 8th St Laurel

IN ACCOUNT WITH JLD-Concrete
1514 Ridge Dr
Laurel, MT 59044 - 406-855-0870

1.	Demo-sidewalks and curb gutter	\$9500 ⁰⁰		
2.	Replace-curb gutter			
3.	Replace-side walks.			
4.	Replace approach			
5.	Place A.D.A Ramps. w/2'x4' Resed fiber glass domed-pads.			
Bid includes all material/Labor Demo-removal				

CURRENT	OVER 30 DAYS	OVER 60 DAYS	TOTAL AMOUNT	\$9500 ⁰⁰
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RECEIVED
 SEP 13 2018
 BY: *rl*

824752

Statement		DATE	TERMS
TO		9-11-18	
City of Laurel			
Bid for 116 th Ave			
9/24 - Spoke on phone & was for 119 6 th Ave.			
IN ACCOUNT WITH		J.L.D. Concrete	
1514 Ridge Drive			
Laurel, MT 59044 - 466-855-0870			
		Bid for removal and replace to City Specs. Concret sidewalk and approach includes Tree Root removal. Bid includes all material and labor Removal of all Demo material & Tree Root	\$ 5960 ⁰⁰
CURRENT	OVER 30 DAYS	OVER 60 DAYS	TOTAL AMOUNT
			\$ 5960 ⁰⁰

RECEIVED
SEP 25 2018

367639

BY: _____ DATE 9-15-18 TERMS _____

Statement TO City of Laurel
Bid for - 320 cone

IN ACCOUNT WITH J. L. D. Concrete
1514 Ridge Dr.
Laurel, MT 59044 - 855-0870

	Demo - and Remove	\$3900.00
	Sidewalk concrete and	
	Tree root if needed	
	Demo - corner sidewalk	
	sidewalk plus curb gutter	
	Place back ADA raised	
	Pad and sidewalks.	
	Leave pie shaped	
	area for Grass.	
	Total Bid cost	
	material + Labor.	

CURRENT OVER 30 DAYS OVER 60 DAYS TOTAL AMOUNT \$3900.00

10/4/17

Hi,

I would like my property at
420 W 8th ST to be considered
for the sidewalk replacement program.
Thanks for your consideration.

Juanita Reser
Juanita Reser
839-8603



Yellowstone County, Montana

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Disclaimer: Not all fields are currently maintained. The [accuracy of the data is not guaranteed](#). Please notify the Appraisal/Assessment Office of any inaccuracies.

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[Full Orion Detail](#)

Owner Information

Please Note:* Owner information is supplied by the **Montana Department of Revenue. To request updates to addresses or other ownership information, please **contact the DOR office at 896-4000**. Records for the current year will **not** be updated after tax bills have been sent out, so changes requested after you receive your bill will appear only on next year's records.

Tax ID: B00366

Primary Party

Primary Owner Name: RESER, MICHAEL J & JUANITA

2018 Mailing Address: RESER, MICHAEL J & JUANITA
420 W 8TH ST
LAUREL, MT 59044-2007

Property Address: 420 W 8TH ST

Township: 02 S Range: 24 E Section: 09

Subdivision: FOURTH AVE SUBD Block: 8 Lot: 11

Full Legal: FOURTH AVE SUBD, S09, T02 S, R24 E, BLOCK 8, Lot 11 - 12

GeoCode: 03-0821-09-2-04-05-0000

[Show on Map](#) (May not work for some newer properties.)

Property Assessment Information

Levy District: LAUREL INSIDE

Assessed Value Summary

Assessed Land Value = \$ 34,080.00

Assessed Building(s) Value = \$ 167,420.00

Total Assessed Value = \$ 201,500.00

Assessed Value Detail Tax Year: 2018

Class Code	Amount
2201 - Residential City or Town Lots =	\$ 34,080.00
3501 - Improvements on Residential City or Town Lots =	\$ 167,420.00
Total =	\$ 201,500.00

The values shown for the given tax year are for taxation purposes only. They are supplied by the Department of Revenue. For questions about these values, please contact the Montana Department of Revenue, Appraisal/Assessment Office at [406-896-4000](#).

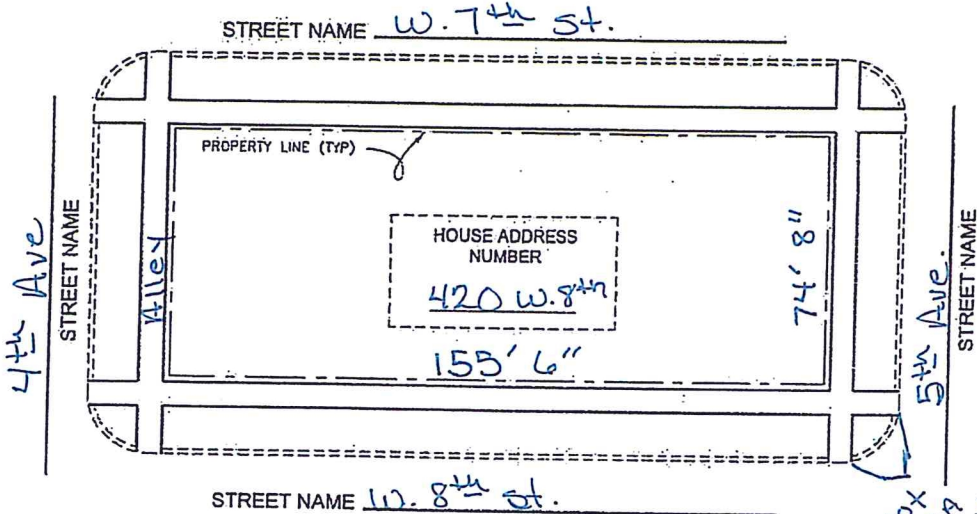
Rural SID Payoff Information

NONE

Property Tax Billing History

SIDEWALK INSPECTION

DATE: 7-9-18
 LOCATION/ADDRESS OF VIOLATION: 420 W. 8th St.
 PROPERTY OWNER NAME: Michael + Juanita Resor 839-8603
 PROPERTY OWNER ADDRESS: 420 W. 8th St. Laurel, MT 59044-2007
 INSPECTOR: _____ DATE PASSED INSPECTION: _____



TYPE OF DEFECT	# OF SQUARES
D1	15
D2	2
C1	10

_____ CITY RESPONSIBLE
 _____ OWNER RESPONSIBLE

DEFECT TYPES

<p>TYPE A SIDEWALK</p> <ul style="list-style-type: none"> IS DISPLACED ONE INCH OR MORE VERTICALLY AT ANY POINT IN THE PANEL 	<p>TYPE B1 EITHER OF THE FOLLOWING: SIDEWALK:</p> <ul style="list-style-type: none"> IS RAISED MORE THAN THREE INCHES FROM THE NORMAL LINE OF GRADE HAS DRAINAGE WAY FORMED INTO SURFACE 	<p>TYPE B2 ANY OF THE FOLLOWING: SIDEWALK</p> <ul style="list-style-type: none"> IS DEPRESSED MORE THAN THREE INCHES FROM THE NORMAL LINE OF GRADE PONDS WATER COLLECTS DEBRIS
<p>TYPE C1 ANY OF THE FOLLOWING: SIDEWALK</p> <ul style="list-style-type: none"> IS CRACKED INTO FOUR OR MORE PIECES IS MISSING A PIECE EQUAL TO OR EXCEEDING SIXTEEN SQUARE INCHES IS MISSING A FULL DEPTH PIECE OF ANY SIZE 	<p>TYPE C2 SIDEWALK</p> <ul style="list-style-type: none"> IS MISSING THREE PIECES OR LESS, WITH EACH PIECE BEING LESS THAN SIXTEEN SQUARE INCHES, BUT GREATER THAN FOUR SQUARE INCHES 	<p>TYPE D1 ANY OF THE FOLLOWING: SIDEWALK:</p> <ul style="list-style-type: none"> IS SPALLED 75% OR MORE OVER SURFACE HAS A SPALLED AREA DEEPER THAN ONE INCH HAS LOOSE OR DETERIORATING DAMAGE OVER THE MAJORITY OF THE SURFACE DOES NOT DRAIN PROPERLY
<p>TYPE D2 EITHER OF THE FOLLOWING: MINOR SURFACE DAMAGE:</p> <ul style="list-style-type: none"> SIDEWALK IS SPALLED BETWEEN 50%-75% OVER SURFACE MAJORITY OF THE PANEL DEEMED STRUCTURALLY SOUND BY CITY ENGINEER, WITHOUT DRAINAGE ISSUES 	<p>TYPE E1 ANY OF THE FOLLOWING: SIDEWALK</p> <ul style="list-style-type: none"> HAS SEPARATION EXCEEDING TWO INCHES AT ANY POINT IN THE PANEL HAS MORE THAN ONE SEPARATION HAS ELEVATION OR DRAINAGE ISSUES HAS SHIFTED MORE THAN TWO INCHES 	<p>TYPE E2 SIDEWALK</p> <ul style="list-style-type: none"> HAS ONE SEPARATION GREATER THAN ONE INCH AND LESS THAN TWO INCHES AT ANY POINT IN THE PANEL IS LEVEL HAS NO OTHER APPARENT HAZARDS
<p>WIDTH OF SIDEWALK: <input type="checkbox"/> 4 FT <input type="checkbox"/> 8 FT <input checked="" type="checkbox"/> 5 FT</p>		<p>TYPE F THE CROSS SLOPE (WIDTH) OF THE SIDEWALK EXCEEDS MORE THAN ONE INCH PER FOOT.</p>

Repaired by: Owner _____ City _____
 Invoice # _____ Square Feet: 4" 6"
 Reimbursables _____
 Forestry Y N Streets Y N

Approx. Square Feet of Sidewalk to be Repaired: _____

NOTES: Corner is not ADA compliant
would have to pour curb & gutter

City of Laurel

Residential Sidewalk Improvement Program

Bid Sheet - 2018

Address of Defective Sidewalk	Sidewalk Sq. Ft.	Driveway Approach Width	Driveway Approach Length	Driveway Sq. Ft.	ADA Corner required	Curb & Gutter	Estimated total cost for each address
420 West 8 th Street	1092	12	8	N/A	Yes	W. 8 th Street side of property	
116 6 th Avenue	385	24	5	N/A	N/A	N/A	
Total for project	1549	36	13	-----	-----		

Notes:

420 W. 8th St. – 182'x6'x4" (sidewalk), 12'x6'x6" (sidewalk approach), 12'x8'x6" (total approach), curb and gutter would be need to be done in order to pour sidewalk on W. 8th Street side only. ADA corner required.

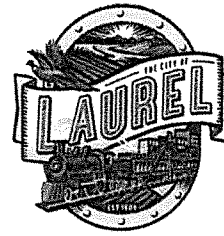
116 6th Ave. – 77'x5'x4" (sidewalk), 24'x5'x6" (sidewalk approach), 24'x10'x6" (total approach), tree root would need to be removed.

The required ADA corners on those properties noted shall include the raised truncated domes/pads and be included in the total bid costs column.

CITY HALL
115 W. 1ST ST.
PUB. WORKS: 628-4796
WATER OFC.: 628-7431
COURT: 628-1964
FAX 628-2241

City Of Laurel

P.O. Box 10
Laurel, Montana 59044



Office of Code Enforcement

Sidewalk Improvement Program Criteria/Grading System

Address of Defective Sidewalk: 420 W. 8th St.

Is the sidewalk in the vicinity of a school? Scale 1-3 1
1000 feet or greater = 1
500 feet to 1000 feet = 2
Adjacent to or within 500 feet = 3

Does the sidewalk have a 3/4 inch or greater uplift between adjacent sidewalk sections? Scale 1-3 1
3/4 inch or less = 1
3/4 to 1 1/2 inch = 2
1 1/2 inch or greater = 3

Does the sidewalk have at least one full-depth crack throughout more than 50% of the surface area which has spread more than 1/4 inch apart in any 5 foot area, exclusive of contraction joints? Scale 1-3 3
1/4 inch or less = 1
1/4 to 1 1/2 inch = 2
1 1/2 inch or greater = 3

Does the sidewalk have any portion, which is punched out or otherwise broken away or missing? Scale 1-3 3
8 inches or less = 1
8-16 inches = 2
16 inches or greater = 3

The general sidewalk condition is: Scale 1-3 2
Fair = 1
Bad = 2
Unsafe = 3

Total: 10







07/09/2018 10:23



07/09/2018 10:23







07/09/2018 10:24



07/09/2018 10:24



07/09/2018 10:24



07/09/2018 10:24





Tom Saxre

119 6th Ave

690-5091

Interest in Sidewalk
replacements

North side of Property -
2nd Street



Yellowstone County, Montana

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[Full Orion Detail](#)

Owner Information

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Tax ID: B01418

Primary Party

Primary Owner Name: SAYRE, TOM J

2018 Mailing Address: SAYRE, TOM J
119 6TH AVE
LAUREL, MT 59044-2918

Property Address: 119 6TH AVE
Township: 02 S Range: 24 E Section: 09
Subdivision: YOUNGS SUBD Block: 2 Lot: 11
Full Legal: YOUNGS SUBD, S09, T02 S, R24 E, BLOCK 2, Lot 11 - 12
GeoCode: 03-0821-09-3-10-07-0000

[Show on Map](#) (May not work for some newer properties.)

Property Assessment Information

Levy District: LAUREL INSIDE

Assessed Value Summary

Assessed Land Value = \$ 34,080.00
Assessed Building(s) Value = \$ 128,620.00
Total Assessed Value = \$ 162,700.00

Assessed Value Detail Tax Year: 2018

Class Code	Amount
2201 - Residential City or Town Lots =	\$ 34,080.00
3501 - Improvements on Residential City or Town Lots =	\$ 128,620.00
Total =	\$ 162,700.00

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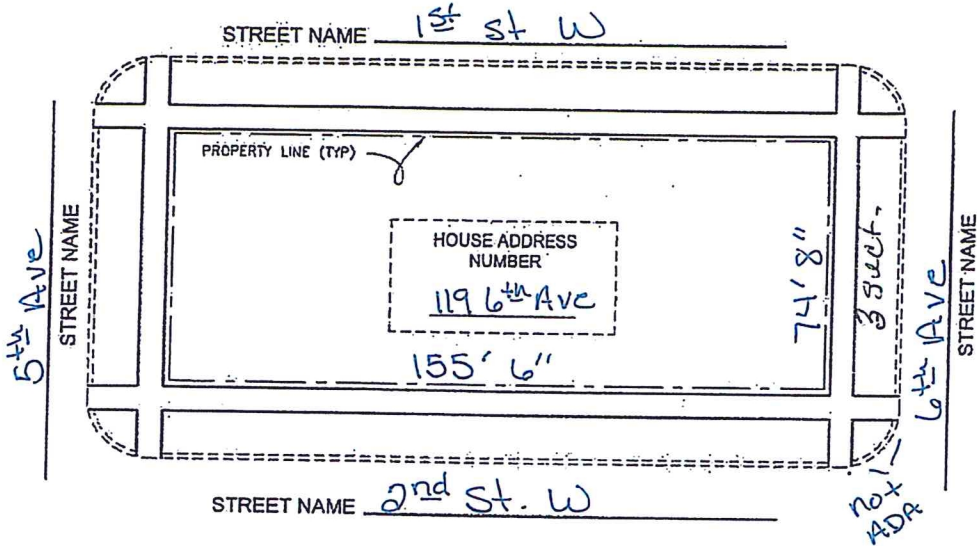
Rural SID Payoff Information

NONE

Property Tax Billing History

SIDEWALK INSPECTION

DATE: 7-9-18
 LOCATION/ADDRESS OF VIOLATION: 119 6th Avenue
 PROPERTY OWNER NAME: Tom J. Sayre 690-5091
 PROPERTY OWNER ADDRESS: 119 6th Ave. Laurel, MT 59044
 INSPECTOR: _____ DATE PASSED INSPECTION: _____



TYPE OF DEFECT	# OF SQUARES
A	2
B1	2
C1	5
D1	7
E1	2
E2	3

CITY RESPONSIBLE
 OWNER RESPONSIBLE

DEFECT TYPES

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<p>WIDTH OF SIDEWALK: <input type="checkbox"/> 4 FT <input type="checkbox"/> 8 FT <input checked="" type="checkbox"/> 5 FT</p>		<p>TYPE F THE CROSS SLOPE (WIDTH) OF THE SIDEWALK EXCEEDS MORE THAN ONE INCH PER FOOT.</p>

Repaired by: Owner City _____
 Invoice # _____ Square Feet: 4" 6"
 Reimbursables _____
 Forestry N Streets N

Approx. Square Feet of Sidewalk to be Repaired:
385

NOTES: Corner is not ADA compliant
tree root would have to be done

City of Laurel

Residential Sidewalk Improvement Program

Bid Sheet - 2018

Address of Defective Sidewalk	Sidewalk Sq. Ft.	Driveway Approach Width	Driveway Approach Length	Driveway Sq. Ft.	ADA Corner required	Curb & Gutter	Estimated total cost for each address
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FAX 628-2241

City Of Laurel

P.O. Box 10
Laurel, Montana 59044



Office of Code Enforcement

Sidewalk Improvement Program Criteria/Grading System

Address of Defective Sidewalk: 119 6th Avenue

Is the sidewalk in the vicinity of a school? Scale 1-3

1000 feet or greater = 1

500 feet to 1000 feet = 2

Adjacent to or within 500 feet = 3

1

Does the sidewalk have a $\frac{3}{4}$ inch or greater uplift between adjacent sidewalk sections? Scale 1-3

$\frac{3}{4}$ inch or less = 1

$\frac{3}{4}$ to 1 $\frac{1}{2}$ inch = 2

1 $\frac{1}{2}$ inch or greater = 3

2

Does the sidewalk have at least one full-depth crack throughout more than 50% of the surface area which has spread more than $\frac{1}{4}$ inch apart in any 5 foot area, exclusive of contraction joints? Scale 1-3

$\frac{1}{4}$ inch or less = 1

$\frac{1}{4}$ to 1 $\frac{1}{2}$ inch = 2

1 $\frac{1}{2}$ inch or greater = 3

2

Does the sidewalk have any portion, which is punched out or otherwise broken away or missing? Scale 1-3

8 inches or less = 1

8-16 inches = 2

16 inches or greater = 3

3

The general sidewalk condition is: Scale 1-3

Fair = 1

Bad = 2

Unsafe = 3

2

Total: 10

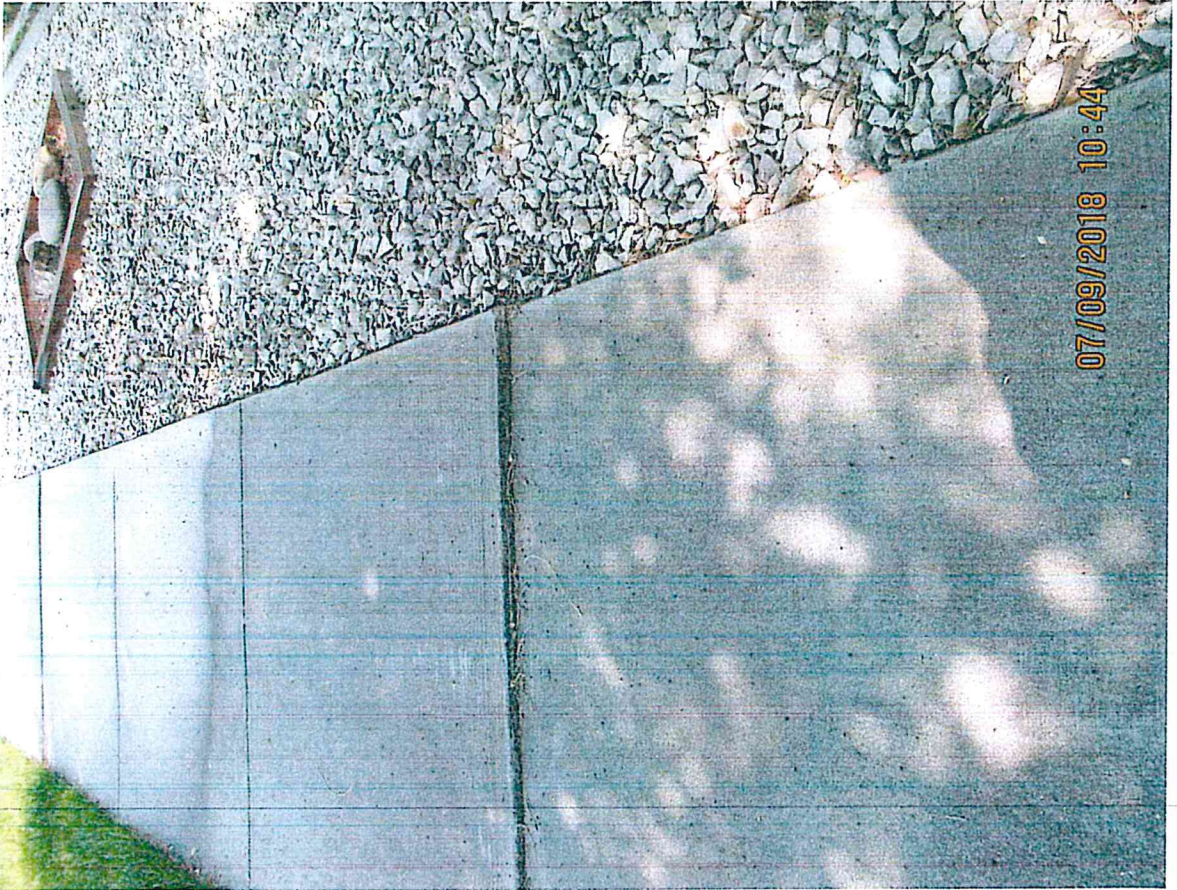


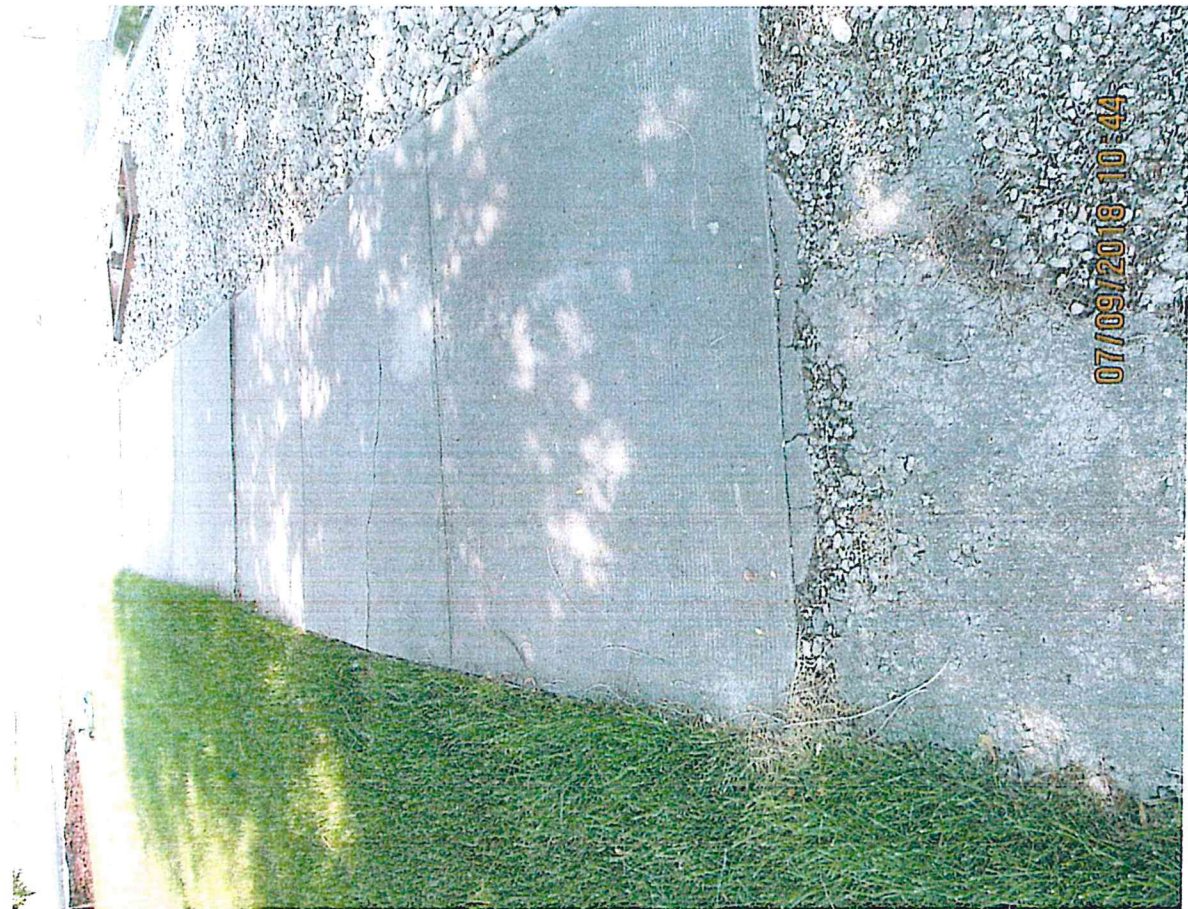


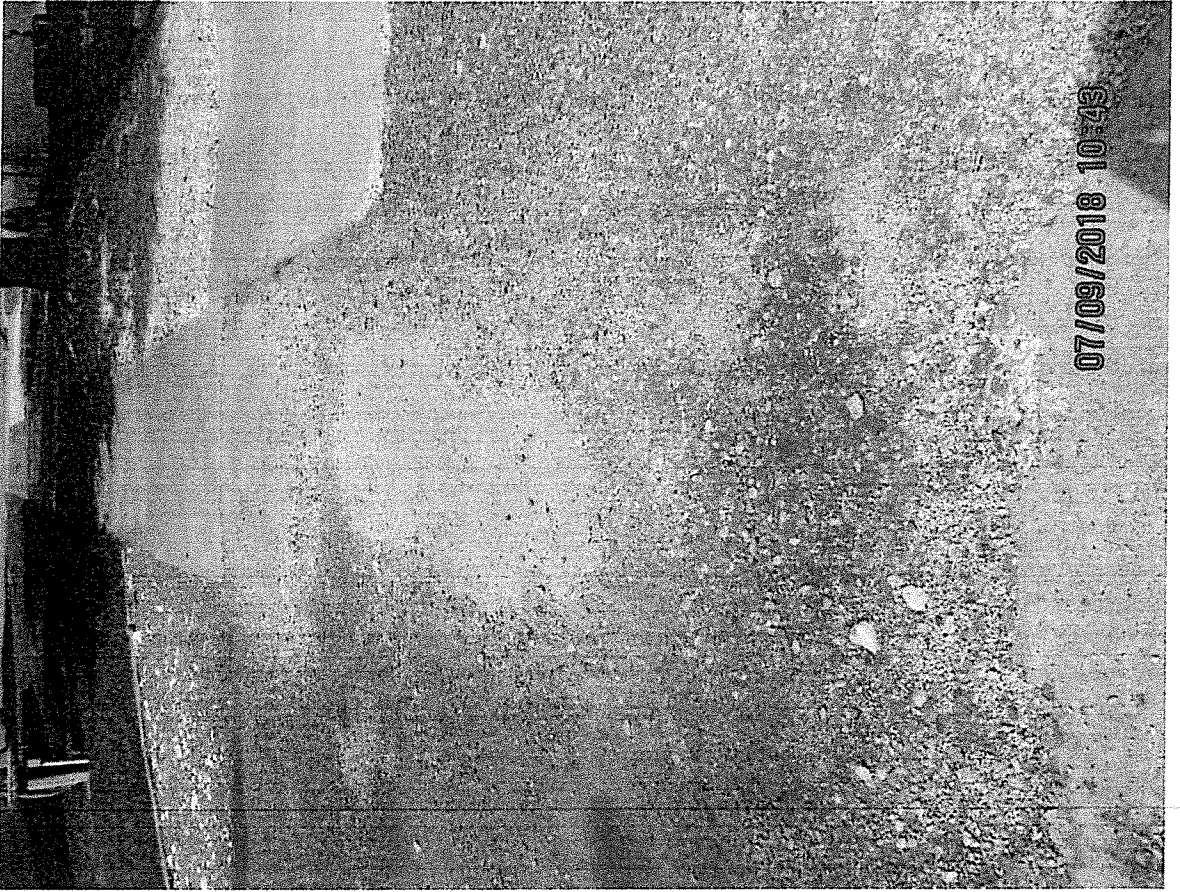
07/09/2018 10:45



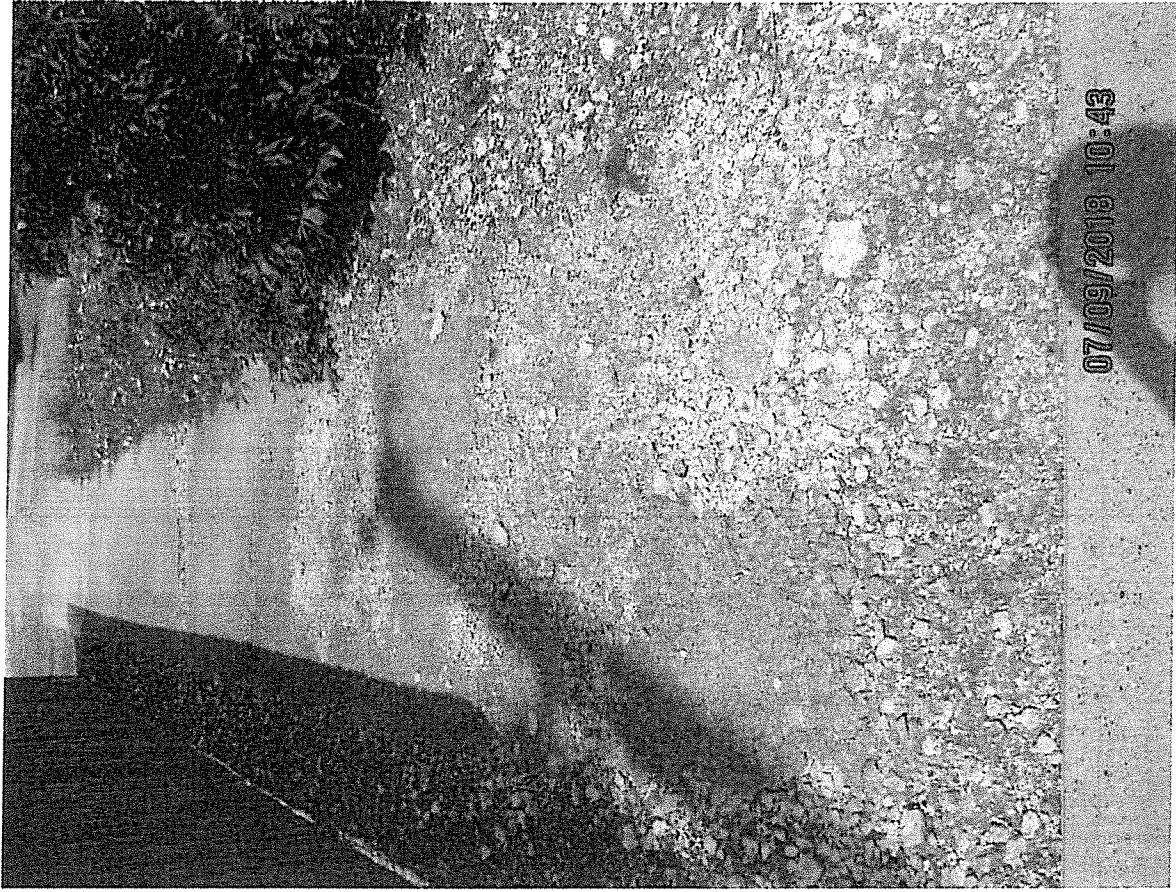
07/09/2018 10:45











Karen Courtney

From: Sean Erickson <uavsean@gmail.com>
Sent: Monday, September 10, 2018 12:01 PM
To: Karen Courtney
Subject: 320 6th Ave

Hello Karen,

Could you please consider some portions of the sidewalks along the north side of our property (W Fourth St.) for replacement?

1. Starting with the Corner.

- It has some pretty good spalling and cracks over about half of it. Can this be converted back to a garden corner like the other corners? (This would save a bit on concrete) We'd like to pretty it up a bit. We'll be happy to do the landscaping and clean up.

2. Going to the alleyway.

- From the neighbors house at the alley, headed east about 50ft. (Up to where the sidewalk has lifted 3 inches).

Thank you for your assistance. Please let me know if you need anything else.

Regards,
Sean Erickson.



Yellowstone County, Montana

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Disclaimer: Not all fields are currently maintained. The [accuracy of the data is not guaranteed](#). Please notify the Appraisal/Assessment Office of any inaccuracies.

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[Full Orion Detail](#)

Owner Information

***Please Note:** Owner information is supplied by the **Montana Department of Revenue**. To request updates to addresses or other ownership information, please **contact the DOR office at 896-4000**. Records for the current year will **not** be updated after tax bills have been sent out, so changes requested after you receive your bill will appear only on next year's records.

Tax ID: B00144

Primary Party

Primary Owner Name: ERICKSON, SEAN M & KIMBERLY R

2018 Mailing Address: ERICKSON, SEAN M & KIMBERLY R
PO BOX 12
LAUREL, MT 59044-0012

Property Address: 320 6TH AVE

Township: 02 S Range: 24 E Section: 09

Subdivision: PARK SUBD (LAUREL) Block: 1 Lot: 9

Full Legal: PARK SUBD (LAUREL), S09, T02 S, R24 E, BLOCK 1, Lot 9 - 10

GeoCode: 03-0821-09-3-22-06-0000

[Show on Map](#) (May not work for some newer properties.)

Property Assessment Information

Levy District: LAUREL INSIDE

Assessed Value Summary

Assessed Land Value = \$ 34,080.00

Assessed Building(s) Value = \$ 131,840.00

Total Assessed Value = \$ 165,920.00

Assessed Value Detail Tax Year: 2018

Class Code	Amount
2201 - Residential City or Town Lots =	\$ 34,080.00
3501 - Improvements on Residential City or Town Lots =	\$ 131,840.00
Total =	\$ 165,920.00

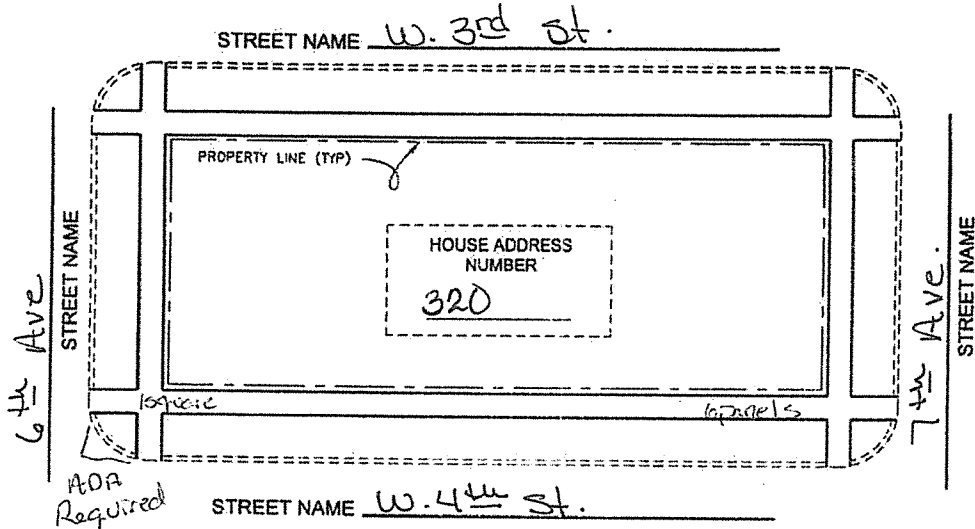
The values shown for the given tax year are for taxation purposes only. They are supplied by the Department of Revenue. For questions about these values, please contact the Montana Department of Revenue, Appraisal/Assessment Office at [406-896-4000](#).

Rural SID Payoff Information

NONE

SIDEWALK INSPECTION

DATE: _____
 LOCATION/ADDRESS OF VIOLATION: 320 6th Ave.
 PROPERTY OWNER NAME: Sean Erickson
 PROPERTY OWNER ADDRESS: _____
 INSPECTOR: _____ DATE PASSED INSPECTION: _____



TYPE OF DEFECT	# OF SQUARES
A	1
C1	
E1	3
F	6

CITY RESPONSIBLE
 OWNER RESPONSIBLE

DEFECT TYPES

<p>TYPE A SIDEWALK</p> <ul style="list-style-type: none"> IS DISPLACED ONE INCH OR MORE VERTICALLY AT ANY POINT IN THE PANEL. 	<p>TYPE B1 EITHER OF THE FOLLOWING: SIDEWALK</p> <ul style="list-style-type: none"> IS RAISED MORE THAN THREE INCHES FROM THE NORMAL LINE OF GRADE HAS DRAINAGE WAY FORMED INTO SURFACE 	<p>TYPE B2 ANY OF THE FOLLOWING: SIDEWALK</p> <ul style="list-style-type: none"> IS DEPRESSED MORE THAN THREE INCHES FROM THE NORMAL LINE OF GRADE PONDS WATER COLLECTS DEBRIS
<p>TYPE C1 ANY OF THE FOLLOWING: SIDEWALK</p> <ul style="list-style-type: none"> IS CRACKED INTO FOUR OR MORE PIECES IS MISSING A PIECE EQUAL TO OR EXCEEDING SIXTEEN SQUARE INCHES IS MISSING A FULL DEPTH PIECE OF ANY SIZE 	<p>TYPE C2 SIDEWALK</p> <ul style="list-style-type: none"> IS MISSING THREE PIECES OR LESS, WITH EACH PIECE BEING LESS THAN SIXTEEN SQUARE INCHES, BUT GREATER THAN FOUR SQUARE INCHES 	<p>TYPE D1 ANY OF THE FOLLOWING: SIDEWALK:</p> <ul style="list-style-type: none"> IS SPALLED 75% OR MORE OVER SURFACE HAS A SPALLED AREA DEEPER THAN ONE INCH HAS LOOSE OR DETERIORATING DAMAGE OVER THE MAJORITY OF THE SURFACE DOES NOT DRAIN PROPERLY
<p>TYPE D2 EITHER OF THE FOLLOWING: MINOR SURFACE DAMAGE:</p> <ul style="list-style-type: none"> SIDEWALK IS SPALLED BETWEEN 50%-75% OVER SURFACE MAJORITY OF THE PANEL DEEMED STRUCTURALLY SOUND BY CITY ENGINEER, WITHOUT DRAINAGE ISSUES 	<p>TYPE E1 ANY OF THE FOLLOWING: SIDEWALK</p> <ul style="list-style-type: none"> HAS SEPARATION EXCEEDING TWO INCHES AT ANY POINT IN THE PANEL HAS MORE THAN ONE SEPARATION HAS ELEVATION OR DRAINAGE ISSUES HAS SHIFTED MORE THAN TWO INCHES. 	<p>TYPE E2 SIDEWALK</p> <ul style="list-style-type: none"> HAS ONE SEPARATION GREATER THAN ONE INCH AND LESS THAN TWO INCHES AT ANY POINT IN THE PANEL IS LEVEL HAS NO OTHER APPARENT HAZARDS

WIDTH OF SIDEWALK: 4 FT 8 FT 5 FT

Repaired by: Owner _____ City _____
Invoice # _____ Square Feet: 4" _____ 6" _____
Reimbursobles _____
<input type="checkbox"/> Forestry Y N <input type="checkbox"/> Streets Y N

Approx. Square Feet of Sidewalk to be Repaired: _____

TYPE F
THE CROSS SLOPE (WIDTH) OF THE SIDEWALK EXCEEDS MORE THAN ONE INCH PER FOOT.

NOTES: _____

CITY HALL
115 W. 1ST ST.
PUB. WORKS: 628-4796
WATER OFC.: 628-7431
COURT: 628-1964
FAX 628-2241

City Of Laurel

P.O. Box 10
Laurel, Montana 59044



Office of Code Enforcement

Sidewalk Improvement Program Criteria/Grading System

Address of Defective Sidewalk: 320 6th Ave

Is the sidewalk in the vicinity of a school? Scale 1-3

1000 feet or greater = 1

500 feet to 1000 feet = 2

Adjacent to or within 500 feet = 3

1

Does the sidewalk have a $\frac{3}{4}$ inch or greater uplift between adjacent sidewalk sections? Scale 1-3

$\frac{3}{4}$ inch or less = 1

$\frac{3}{4}$ to 1 $\frac{1}{2}$ inch = 2

1 $\frac{1}{2}$ inch or greater = 3

3

Does the sidewalk have at least one full-depth crack throughout more than 50% of the surface area which has spread more than $\frac{1}{4}$ inch apart in any 5 foot area, exclusive of contraction joints? Scale 1-3

$\frac{1}{4}$ inch or less = 1

$\frac{1}{4}$ to 1 $\frac{1}{2}$ inch = 2

1 $\frac{1}{2}$ inch or greater = 3

2

Does the sidewalk have any portion, which is punched out or otherwise broken away or missing? Scale 1-3

8 inches or less = 1

8-16 inches = 2

16 inches or greater = 3

3

The general sidewalk condition is: Scale 1-3

Fair = 1

Bad = 2

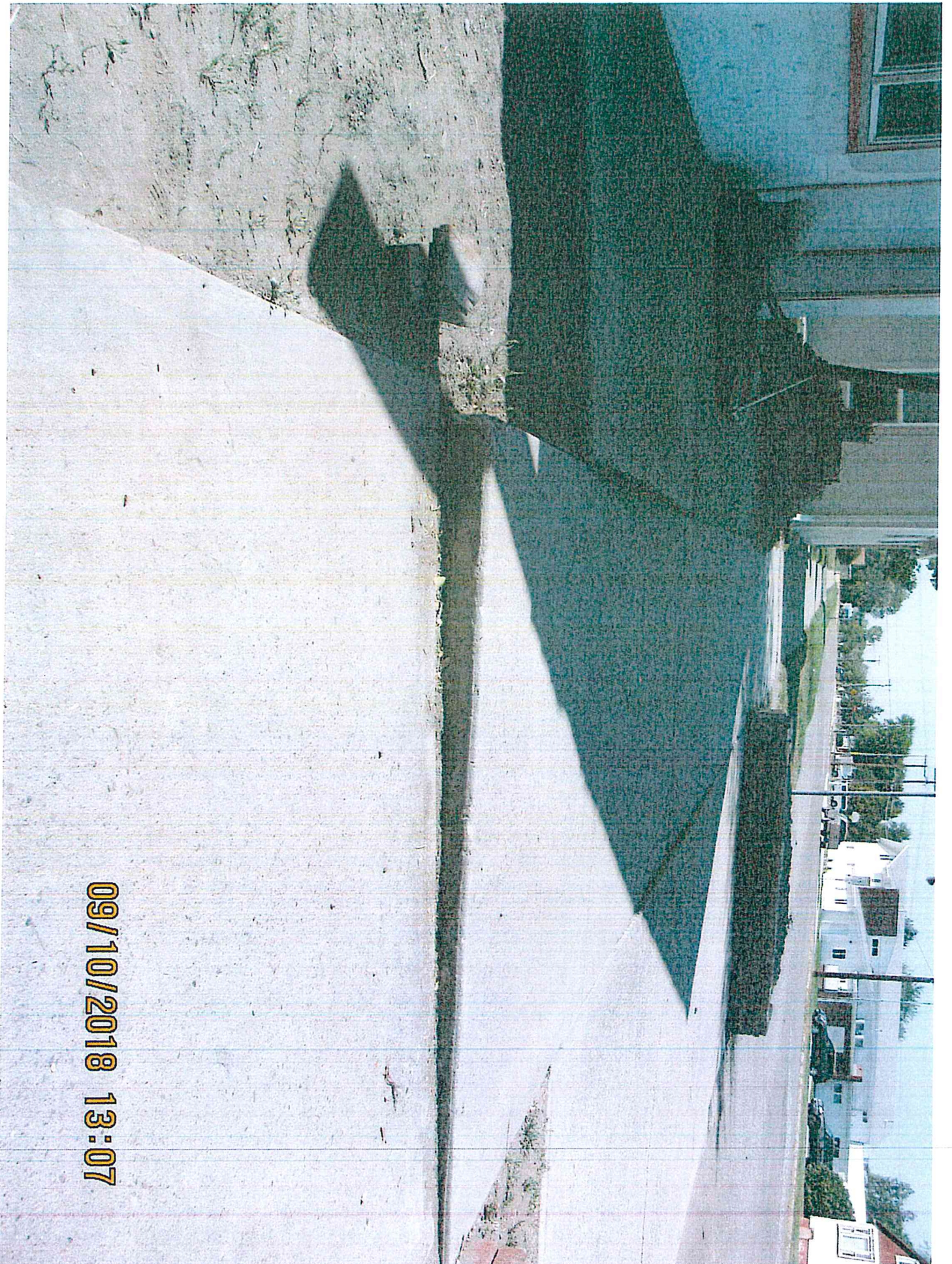
Unsafe = 3

1

Total: 16



09/10/2018 12:51



09/10/2018 13:07



09/10/2018 12:59